

Milissa Michel & Ken Seitzer
3312 Arrow Avenue
Cincinnati, OH 45213

Date: May 8, 2026

Anderson Township Board of Zoning Appeals
7850 Five Mile Road
Cincinnati, Ohio 45230



Re: Application for Variance – Front Yard Setback (AA Residence District – Article 3.1)
Property Address: 3085 Little Dry Run Rd, Cincinnati, OH 45244
Parcel No.: 500-0151-0005-00
Agent for the Owner: Prince King Architects, LLC – Michael Prince & Alex King

Dear Members of the Board of Zoning Appeals:

We are the owners of the above-referenced property located in Anderson Township, Hamilton County, Ohio, which is zoned AA Residence District under the Anderson Township Zoning Resolution. We respectfully submit this letter as a statement of facts in support of our request for a variance to the required front yard setback as established in Article 3.1, D, a, i of the Zoning Resolution. Refer to the attached Notice of Refusal Letter on the initial application for a zoning certificate and consent to inspect the premises:

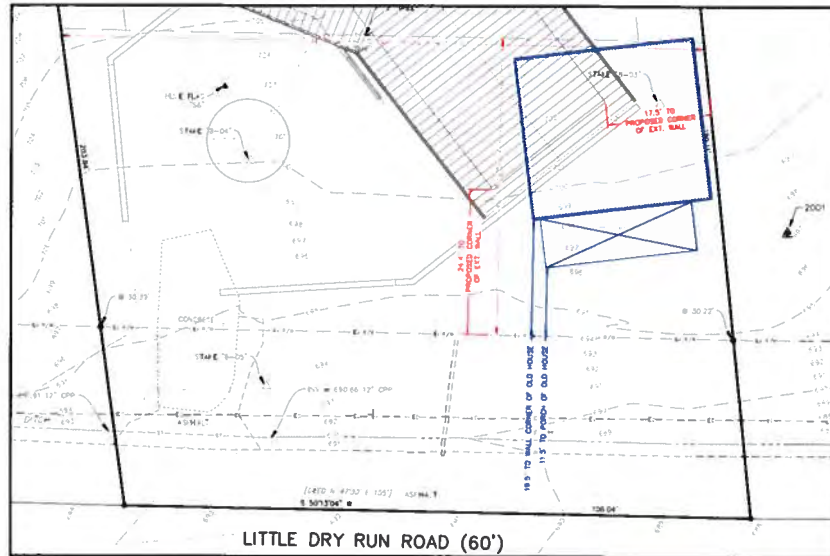
Attachments:

3085 Little Dry Run Notice of Refusal.pdf
Consent To Inspect Premises BZA 2026.pdf

Please see the following information regarding our request for a variance:

Property Description, Pre-Existing Conditions, & Proposed Use

The subject property consists of approximately one-half (0.5) acre. There was a pre-existing house on the lot that was demolished by the prior property owner however the surveyor was able to locate it on the survey to the best of their ability based on the information available. Refer to the images that follow for overlay of the pre-existing house in relation to the proposed new residence and most recent image of the pre-existing house from google earth:



outline in blue of pre-existing house with front porch



Google Street View from 2022

The proposed use of construction is a single-family residence consistent with the prior use and the permitted uses within the AA Residence District. While the lot has adequate buildable area per the zoning setback requirements for the proposed residence, it is characterized by exceptional topographic constraints, most notably a very steep slope across the rear portion of the lot. The rear slope substantially limits the buildable area and creates significant challenges for placing a residence in full compliance with the required front yard setback under Article 3.1.

Construction in compliance with the full front setback would necessitate placing the structure deeper into the lot, directly into the steeply sloping and wooded rear area. This condition would require extensive regrading, removal of mature trees, and would complicate the driveway slope, resulting in considerably increased construction costs, permanent alteration of the natural topography, and would increase the driveway slope beyond the recommended maximum of 15%.

Statement of Practical Difficulty
(Article 2.12, D, 2, b)

This variance request satisfies all applicable criteria for practical difficulty as set forth in Article 2.12, D, 2, b of the Anderson Township Zoning Resolution:

1. Exceptional Physical Conditions of the Property

The hardship associated with this request arises from the property's unique physical and topographic conditions, specifically the steep rear slope and the natural features that limit feasible building placement. These conditions are inherent to the lot, they were not created by the property owner, and they are consistent with other parcels along Little Dry Run Road.

A pre-existing residential structure stood on the lot as recently as 2022. Based on available survey data, that structure was located approximately 19.5 feet from the right-of-way line when measured from the leading edge of the main house, and 11.5 feet from the right-of-way line when measured from the front porch. The variance requested—at 20.1 feet from the right-of-way line—does not exceed the setback of the former residence and remains consistent with the historical development pattern of the property.

Additionally, other residential structures along Little Dry Run Road encroach into the front setback required by the AA Residence District. The following examples demonstrate that reduced front setbacks are characteristic of the area and that the requested variance aligns with existing neighborhood conditions. Exhibit A and Exhibit B, attached to this letter, provide visual references supporting this point.

Attachments:

Exhibit A - 3311 Little Dry Run Road.pdf

Exhibit B - 2891 Little Dry Run Road.pdf

2. Property Cannot Be Reasonably Used Without the Variance

Strict adherence to the front yard setback requirements of Article 3.1 would force construction into the steep rear slope, making reasonable residential development of the 3-bed, 2.5 bath residence impractical and unduly expensive. Without the requested variance, the property cannot be used in a manner consistent with other similarly zoned residential properties on Little Dry Run Road.

Further, the example property depicted in the zoning regulations, Illustration 3.1 indicates that a minimum lot area is one (1) acre and minimum lot width at 150 feet is the standard for a lot in the AA District. At half that size (0.502 acres) and 106.04 feet wide the subject lot offers no flexibility for locating a reasonably sized residence in an alternative location other than near the front where the slope is less severe.

3. Substantial Justice and Observance of the Spirit of the Zoning Resolution

The proposed reduction to the front yard setback will allow us to build the home on the more naturally buildable portion of the lot while preserving the wooded rear slope. This approach promotes the intent of the zoning resolution by protecting environmental features and ensuring orderly residential development.

4. No Detriment to Adjacent Properties or the Public Interest

Granting the variance will not impair adjacent property values, alter neighborhood character, or create unsafe conditions. The residence will remain compatible in scale, appearance, and use with surrounding homes within the AA Residence District, consistent with the intent of Article 3 of the Zoning Resolution. Further, the location of the residence as proposed has no adverse effect on public health, safety, and general welfare.

Refer to the attached site survey, architectural elevations, and approval from Hamilton County for approval of a discharge sewage treatment system as was originally submitted for the zoning certificate application.

Attachments:

26109 Topo LS BACK-Topo.pdf

A2101-20260421.pdf

A2102-20260421.pdf

SHCPH CR Co25040713350.pdf

5. Minimum Variance Necessary

The variance requested represents the minimum modification to the front yard setback necessary to accommodate the topographic constraints while allowing reasonable use of the property. In good faith, revisions to the residence in the design process have included reducing the overall home width to fit within the side yard setbacks and locating the residence as far as possible to the rear of the lot without incurring undue hardship. No other relief from the zoning regulations is requested.

6. Hardship Not Self-Created

The practical difficulty is entirely the result of the lot's natural size, shape, slope, and pre-existing conditions, not actions taken by the applicant.

Conclusion

For the reasons stated above, the requested front yard setback variance is consistent with the standards of Article 2.12, D, 2, b and the spirit and intent of Article 3.1 of the Anderson Township Zoning Resolution. Approval of this variance will permit reasonable residential development while avoiding unnecessary environmental disturbance and excessive construction hardship.

Thank you for your time and consideration of this request. We respectfully request approval of the variance as submitted.

Sincerely,

Millissa Michel & Ken Seitzer



Exhibit A - 3311 Little Dry Run Road



Exhibit B - 2891 Little Dry Run Road



PREVENT. PROMOTE. PROTECT.

250 William Howard Taft Road
Cincinnati, OH 45219
Phone: 513.946.7800 Fax: 513.946.7890
hcph.org

April 7, 2025

JAKE ANDERSON
6720 PALMETTO STREET
CINCINNATI, OH 45227

RE: Lot Review, 3085 Little Dry Run Road, Anderson Township

Dear Mr. Anderson:

In response to your Application for a Lot Review using a Household Sewage Treatment System, the lot has been visited to evaluate its potential for development. After receiving a soil report from Dan Michael of Clear Creek Environmental, it was concluded that there is insufficient room/adequate soil for the installation of a soil absorption sewage treatment system. Due to this lot having been previously developed, an NPDES permitted discharging sewage treatment system can be utilized for this lot. Therefore, your application is approved. Our office has reviewed the site incubuses and offers the following comments.

1. The discharge outlet must be located no closer than 10' from the existing right-of-way and neighboring property lines.
2. The right-of-way must be located and marked at the site by a professional surveyor prior to the applicant submitting an application to construct/replace a sewage treatment system to Hamilton County Public Health (HCPH).
3. Approval shall be issued by the local governing authority to develop a shallow swale through the right-of-way for the treated effluent being discharged from the sewage treatment system to the existing open culvert/ditch.
4. The sewage treatment system shall meet all required isolation distances found in Ohio Administrative Code 3701-29-06(G)(3).

If you have any questions, please contact me at 513-946-7870 Monday through Friday between 7:30 and 10:00AM.

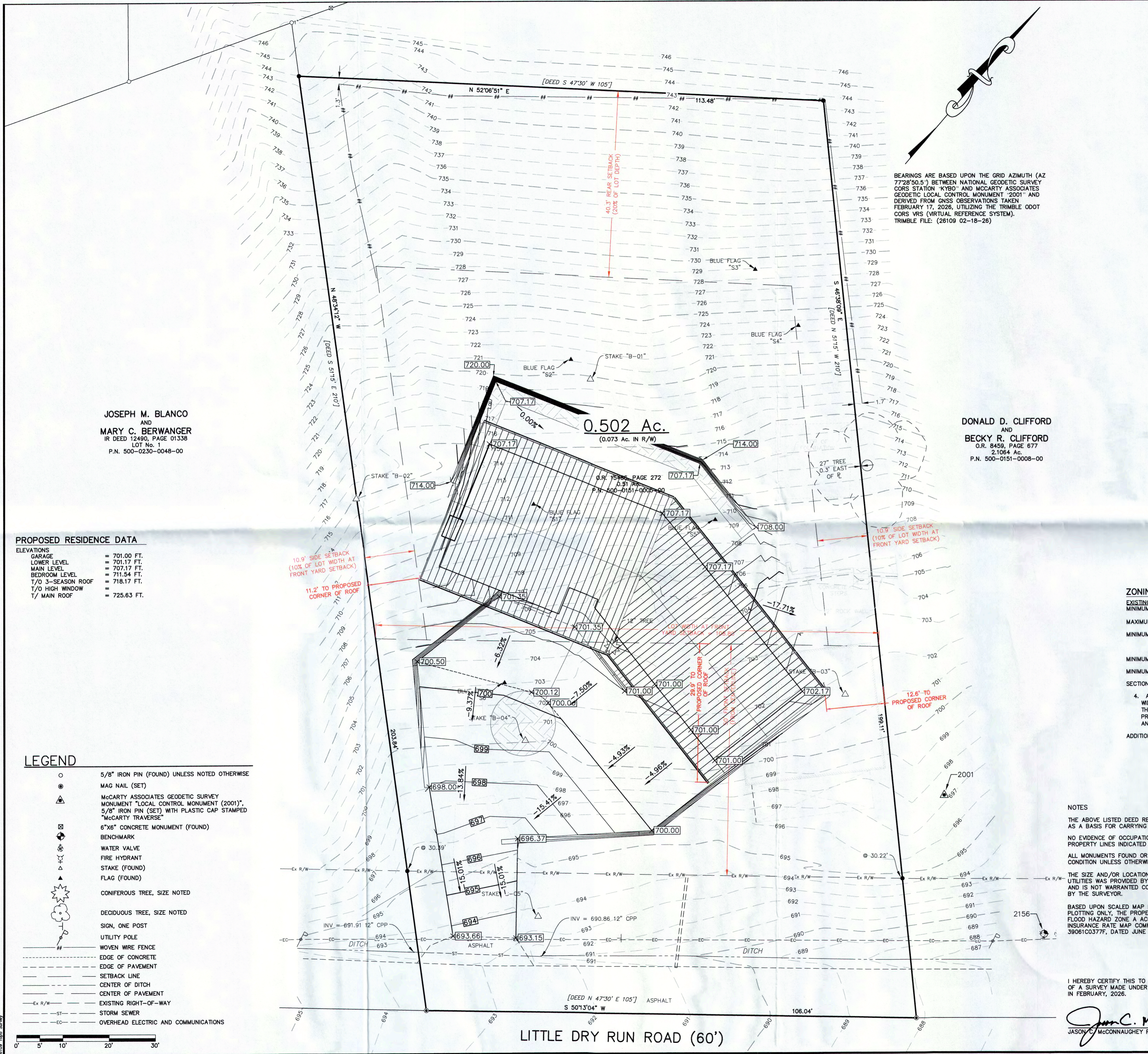
Sincerely,


Greg Cassiere R.E.H.S

Registered Environmental Health Specialist III
Division of Water Quality



Healthy choices. Healthy lives. **Healthy** communities.



JOSEPH M. BLANCO
AND
MARY C. BERWANGER
IR DEED 12490, PAGE 01338
LOT No. 1
P.N. 500-0230-0048-00

DONALD D. CLIFFORD
AND
BECKY R. CLIFFORD
O.R. 8459, PAGE 677
2.1064 Ac.
P.N. 500-0151-0008-00

PROPOSED RESIDENCE DATA

ELEVATIONS

GARAGE	= 701.00 FT.
LOWER LEVEL	= 701.17 FT.
MAIN LEVEL	= 707.17 FT.
BEDROOM LEVEL	= 711.54 FT.
T/O 3-SEASON ROOF	= 718.17 FT.
T/O HIGH WINDOW	= 718.17 FT.
T/ MAIN ROOF	= 725.63 FT.

LEGEND

○	5/8" IRON PIN (FOUND) UNLESS NOTED OTHERWISE
●	MAG NAIL (SET)
▲	MCCARTY ASSOCIATES GEODETIC SURVEY MONUMENT "LOCAL CONTROL MONUMENT (2001)", 5/8" IRON PIN (SET) WITH PLASTIC CAP STAMPED "MCCARTY TRAVERSE"
⊠	6"x6" CONCRETE MONUMENT (FOUND)
⊙	BENCHMARK
⊕	WATER VALVE
⊖	FIRE HYDRANT
⊙	STAKE (FOUND)
⊙	FLAG (FOUND)
⊙	CONIFEROUS TREE, SIZE NOTED
⊙	DECIDUOUS TREE, SIZE NOTED
⊙	SIGN, ONE POST
⊙	UTILITY POLE
⊙	WOVEN WIRE FENCE
⊙	EDGE OF CONCRETE
⊙	EDGE OF PAVEMENT
⊙	SETBACK LINE
⊙	CENTER OF DITCH
⊙	CENTER OF PAVEMENT
⊙	EXISTING RIGHT-OF-WAY
⊙	STORM SEWER
⊙	OVERHEAD ELECTRIC AND COMMUNICATIONS



CONTROL POINTS (VERTICAL ONLY)

POINT No.	NORTHING	EASTING	ELEVATION	DESCRIPTION
2156	410557	1447818	688.08	ARROW BOLT (FOUND) ON FIRE HYDRANT

CONTROL POINTS (HORIZONTAL AND VERTICAL)

POINT No.	NORTHING	EASTING	ELEVATION	DESCRIPTION
2001	410565.413	1447781.907	697.00	5/8" IRON PIN (SET) WITH PLASTIC CAP STAMPED "MCCARTY ASSOCIATES"
2002	410277.426	1447583.022	702.39	MAG SPIKE (SET)

NATIONAL GEODETIC SURVEY CONTROL MONUMENTS

NAME	LATITUDE	LONGITUDE	HEIGHT	NORTHING	EASTING	NAVD 88 ELEVATION
KYBO	39°02'18.03346"N	84°43'25.11763"W	770.868	385957.454	1336959.423	882.700

Local Control Monument "2001" LOCAL SITE SETTINGS

NAME	LATITUDE	LONGITUDE	HEIGHT	NORTHING	EASTING	NAVD 88 ELEVATION
Local Control Monument "2001"	39°06'45.82557"N	84°20'07.14934"W	585.114	1447781.907	410656.413	697.001

GROUND SCALE FACTOR: 1.000809002518
Geoid18 (Conus)
LOCAL GROUND COORDINATES
 NORTHING: 410656.413
 EASTING: 1447781.907
 UNITS ARE IN U.S. SURVEY FEET (SFT)

ZONING

EXISTING ZONE = "A-A" RESIDENCE DISTRICT

MINIMUM LOT WIDTH = 150 FT.

MAXIMUM HEIGHT = 2-1/2 STORIES OR 35 FT., EXCEPT AS HEREINAFTER PROVIDED IN ARTICLE 5.2

MINIMUM FRONT YARD SETBACK = 50 FT., HOWEVER, NO ALIGNMENT SETBACKS OR FRONT YARD DEPTH SHALL BE REQUIRED TO EXCEED THE AVERAGE MINIMUM DEPTHS OF THE EXISTING FRONT YARDS ON THE LOTS ADJACENT ON EACH SIDE, IF EACH OF SUCH LOTS ARE WITHIN THE SAME BLOCK AND WITHIN 100 FT.

MINIMUM SIDE YARD SETBACK = 25 FT.

MINIMUM REAR YARD SETBACK = 60 FT.

SECTION 5.2 ADDITIONAL USE, HEIGHT AND AREA REGULATIONS AND EXCEPTIONS

4. ANY LOT OF RECORD ON THE EFFECTIVE DATE OF THIS RESOLUTION MAY BE USED FOR ANY SINGLE-FAMILY DWELLING IRRESPECTIVE OF THE WIDTH OR AREA OF SAID LOT; THE WIDTH OF THE SIDE YARD OF ANY SUCH LOT NEED NOT EXCEED TEN (10%) PERCENT OF THE WIDTH OF THE LOT; THE DEPTH OF THE REAR YARD OF ANY SUCH LOT NEED NOT EXCEED TWENTY (20%) PERCENT OF THE DEPTH OF THE LOT, PROVIDED, HOWEVER, THAT IN NO INSTANCE SHALL THE MINIMUM DIMENSIONS OF THE SIDE AND REAR YARDS BE LESS THAN THREE (3) FEET AND TEN (10) FEET RESPECTIVELY.

ADDITIONAL INFORMATION CAN BE FOUND IN SECTION 3.1 OF THE ANDERSON TOWNSHIP, HAMILTON COUNTY, OHIO ZONING RESOLUTION.

DEED REFERENCE:
MILISSA J. MICHEL
AND
KENNETH SEITZER
O.R. 15486, PAGE 272
0.51 Ac.
P.N. 500-0151-0005-00

ADDRESS: 3085 LITTLE DRY RUN ROAD
CINCINNATI OH, 45244

LIMITED BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY FOR
PRINCE-KING ARCHITECTS

ANDERSON TOWNSHIP
HAMILTON COUNTY, OHIO
VIRGINIA MILITARY SURVEY No. 1126

MCCARTY ASSOCIATES, LLC.

ARCHITECTS | ENGINEERS | SURVEYORS

213 N. High St. Hillsboro, Oh 45133
O: 937.393.9971
MCCARTYASSOCIATES.COM

DATE	SCALE	PROJECT NO.
FEBRUARY 24, 2026	1"=10'	26-109

NOTES

THE ABOVE LISTED DEED REFERENCES WERE USED AS A BASIS FOR CARRYING OUT THE WORK.

NO EVIDENCE OF OCCUPATION EXISTS ALONG PROPERTY LINES INDICATED BY SOLID LINES.

ALL MONUMENTS FOUND OR SET ARE IN GOOD CONDITION UNLESS OTHERWISE INDICATED.

THE SIZE AND/OR LOCATION OF UNDERGROUND UTILITIES WAS PROVIDED BY THE UTILITY COMPANIES AND IS NOT WARRANTED CORRECT OR COMPLETE BY THE SURVEYOR.

BASED UPON SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE PROPERTY LIES OUTSIDE OF FLOOD HAZARD ZONE A ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 39061C0377, DATED JUNE 7, 2023.

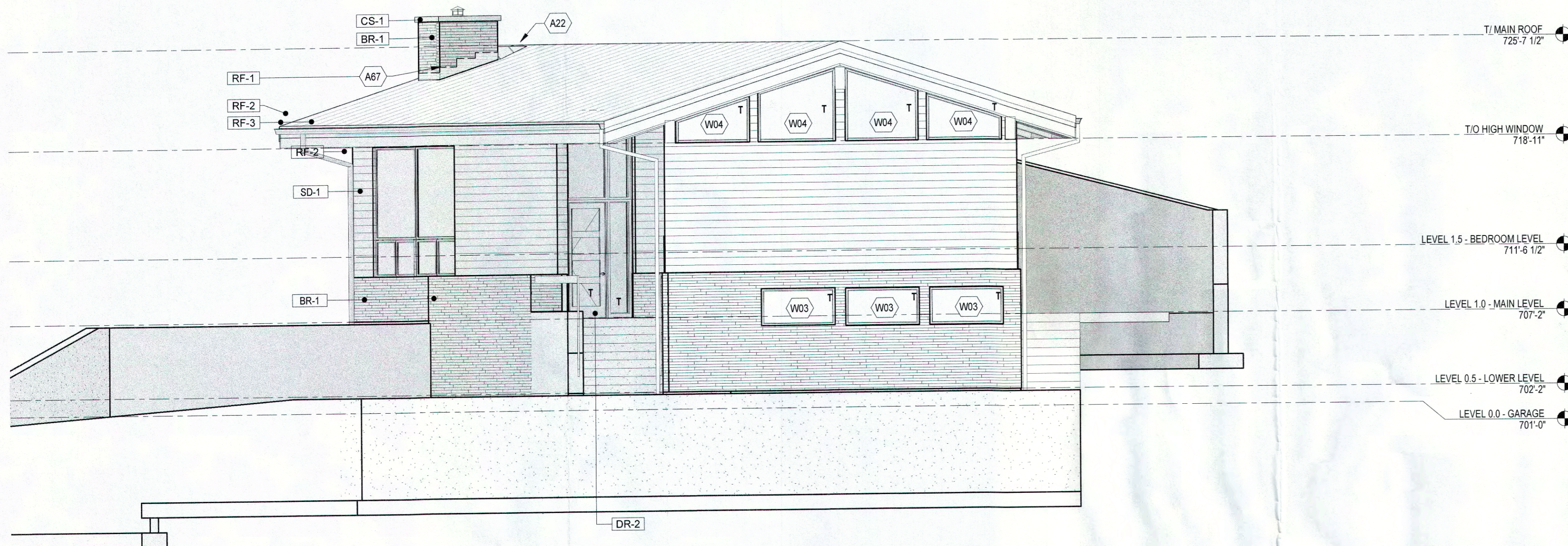
I HEREBY CERTIFY THIS TO BE A PLAT OF A SURVEY MADE UNDER MY DIRECTION IN FEBRUARY, 2026.

Jason C. McConaughy
JASON C. MCCONAUGHEY P.S. 8509

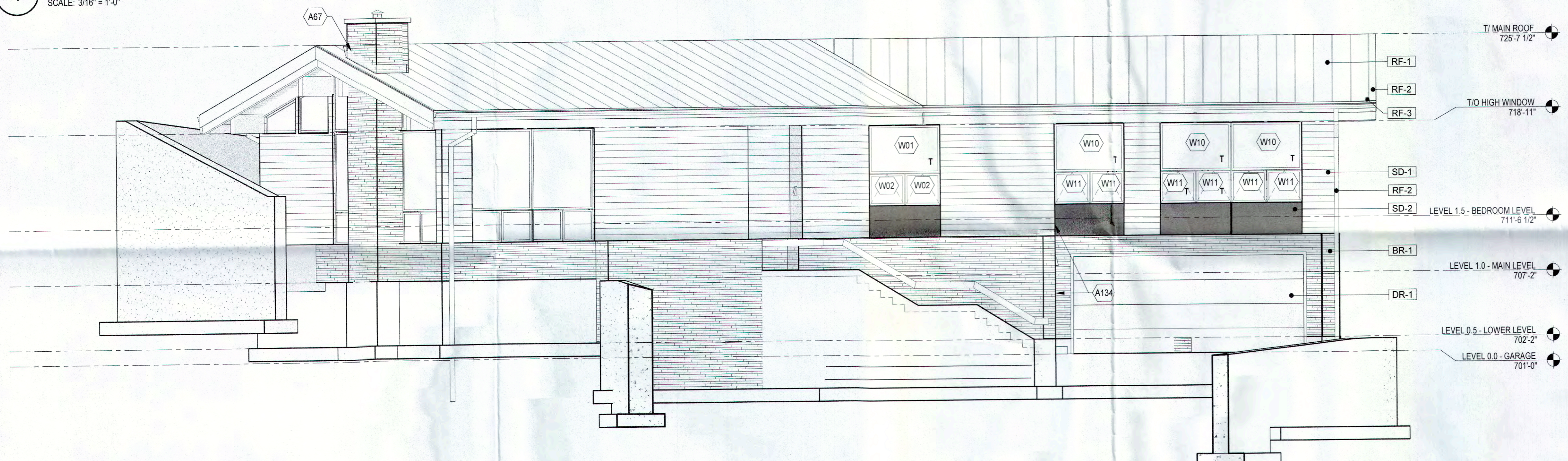


LITTLE DRY RUN ROAD (60')

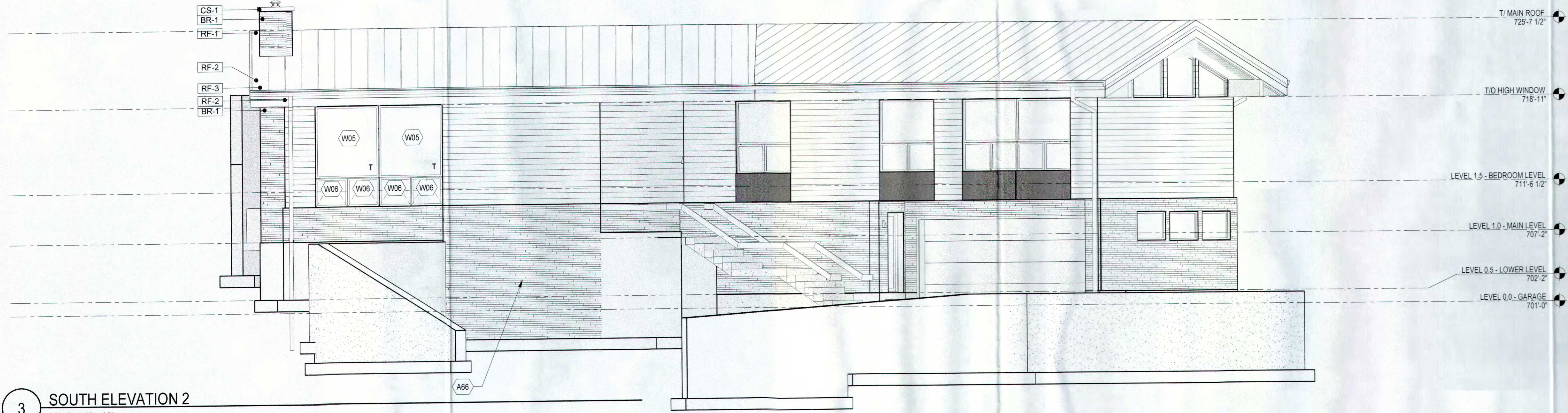
L:\2026\05-103 Prince-King Architects\05-103 Prince-King Architects_Survey\26109_Tpns_4/25/2026 9:02:29 AM Jobn DMC by JPC.dwg



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION 1
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION 2
SCALE: 3/16" = 1'-0"

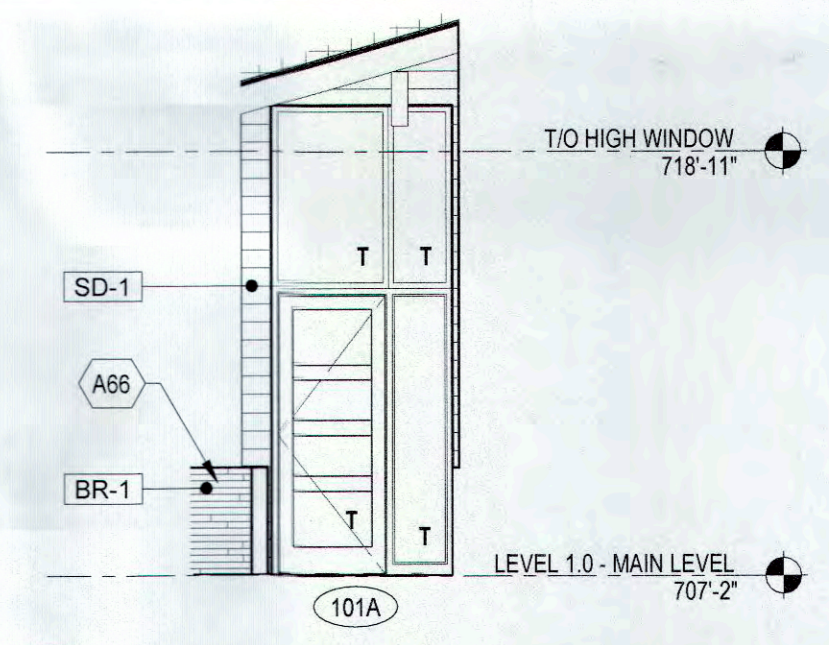
KEYNOTE LEGEND	
KEYNOTE #	KEYNOTE DESCRIPTION
A13	CONCRETE STEP TO EXTERIOR LOWER-LEVEL ENTRY - 7 INCH TOTAL RISE -(1) RISERS AT 7 INCH, (1) TREAD AT 11 INCH DEPTH
A22	CHIMNEY CRICKET AT HIGH SIDE OF ROOF - INSTALL PER OHIO BUILDING CODE REQUIREMENTS AND PER ROOF MANUFACTURERS INSTALLATION INSTRUCTIONS.
A35	CONCRETE FOUNDATION WALL - BROOM FINISH. REFER TO STRUCTURAL SHEETS FOR MORE INFORMATION.
A66	CONCRETE PLANTER AND ENTRY STAIR
A67	STEP FLASHING AT MASONRY CHIMNEY AND STANDING SEAM ROOF - INSTALL PER OHIO BUILDING CODE REQUIREMENTS AND PER ROOF MANUFACTURERS INSTALLATION STANDARD/RECOMMENDED DETAILS.
A134	ALIGN SURFACES/ TRANSITION BETWEEN MATERIALS
W01	66 INCH WIDE X 60 INCH HIGH PICTURE WINDOW, SILL 98 INCH AFF. BOD: MARVIN 'COLLECTION TBD', ALUMINUM EXTERIOR-WOOD INTERIOR.

KEYNOTE LEGEND	
KEYNOTE #	KEYNOTE DESCRIPTION
W02	33 INCH WIDE X 30 INCH HIGH AWNING WINDOW, SILL 66 INCH AFF. BOD: MARVIN 'COLLECTION TBD', ALUMINUM EXTERIOR-WOOD INTERIOR.
W03	59 INCH WIDE X 30 INCH HIGH PICTURE WINDOW, SILL 80 INCH AFF. BOD: MARVIN 'COLLECTION TBD', ALUMINUM EXTERIOR-WOOD INTERIOR.
W04	59 INCH WIDE X "HEIGHT VARIES" SPECIALTY SHAPE WINDOW, SILL 103.5 INCH AFF. BOD: MARVIN 'COLLECTION TBD', ALUMINUM EXTERIOR-WOOD INTERIOR.
W05	64 INCH WIDE X 90 INCH HIGH PICTURE WINDOW, SILL 66 INCH AFF. BOD: MARVIN 'COLLECTION TBD', ALUMINUM EXTERIOR-WOOD INTERIOR.
W06	32 INCH WIDE X 30 INCH HIGH AWNING WINDOW, SILL 36 INCH AFF. BOD: MARVIN 'COLLECTION TBD', ALUMINUM EXTERIOR-WOOD INTERIOR.
W10	66 INCH WIDE X 60 INCH HIGH PICTURE WINDOW, SILL 43.5 INCH AFF. BOD: MARVIN 'COLLECTION TBD', ALUMINUM EXTERIOR-WOOD INTERIOR.
W11	33 INCH WIDE X 30 INCH HIGH AWNING WINDOW, SILL 13.5 INCH AFF. BOD: MARVIN 'COLLECTION TBD', ALUMINUM EXTERIOR-WOOD INTERIOR.

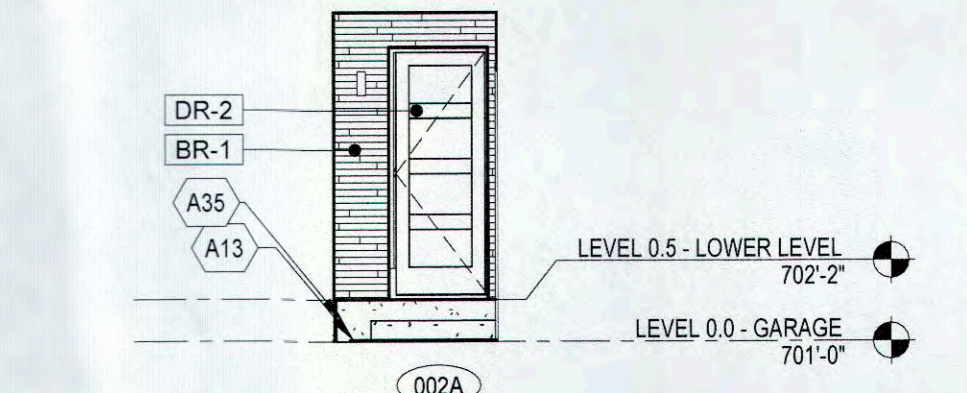
GENERAL NOTES:
 A. CROSS REFERENCE OVERALL DIMENSION PLANS & ENLARGED PLANS AND DETAILS FOR LOCATION OF ARCHITECTURAL ELEMENTS.
 B. REFER TO WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION INFORMATION.
 C. REFER TO A610 FOR FINISH INFORMATION
 D. ALL VERTICAL DIMENSIONS ARE FROM LISTED FLOOR LEVELS, UNLESS OTHERWISE NOTED.
 E. ALL ROOFING FLASHING PER ROOF MANUFACTURERS STANDARD DETAILS & RECOMMENDATIONS.
 F. CONTINUITY OF THERMAL, AIR AND VAPOR BARRIERS IN BUILDING EXTERIOR ENCLOSURE SYSTEMS SHALL BE MAINTAINED AT ALL TRANSITIONS BETWEEN DIFFERENT MATERIALS.

GLAZING LEGEND:
 T - TEMPERED GLASS

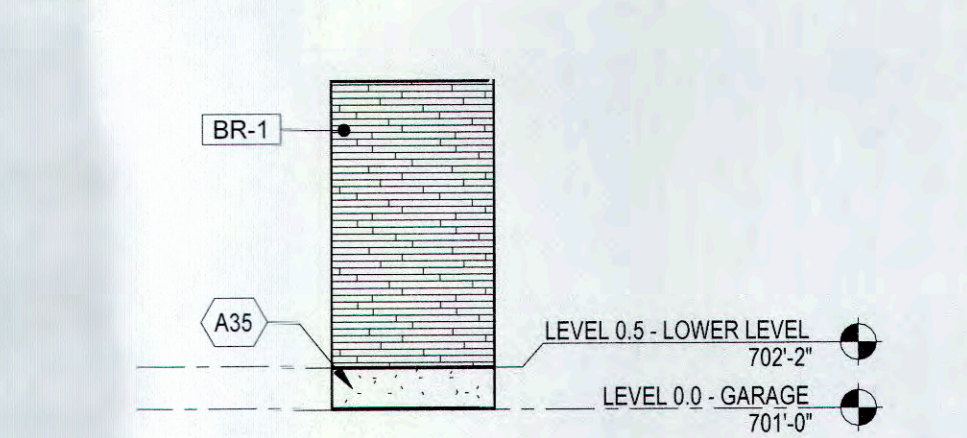
NOTES:
 1. ALL GLASS WITHIN 24" OF ANY DOOR EDGE SHALL BE TEMPERED
 2. ALL GLAZING > 9 SF SHALL BE TEMPERED



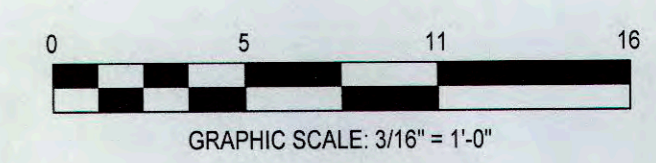
4 EXTERIOR ELEVATION FRONT ENTRY
SCALE: 3/16" = 1'-0"



5 EXTERIOR ELEVATION - LOWER ENTRY
SCALE: 3/16" = 1'-0"



6 EXTERIOR ELEVATION - WING WALL
SCALE: 3/16" = 1'-0"



3544 PEMBROKE AVE / CINCINNATI OH 45208
PH 773.896.5995 / PRINCEKINGARCH.COM

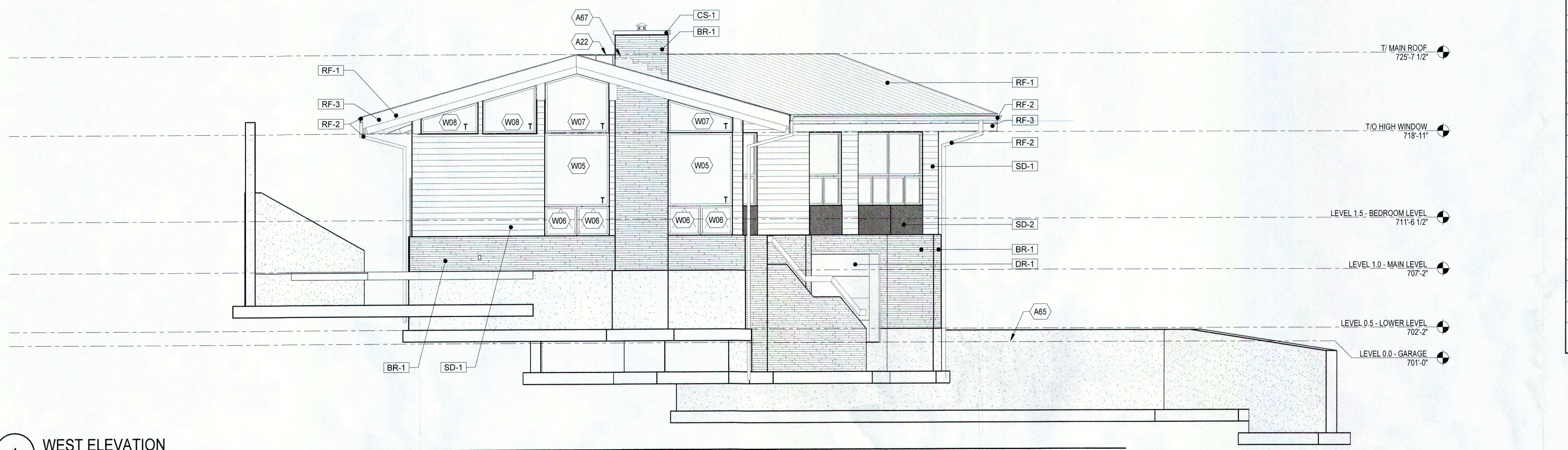
PROJECT:
LITTLE DRY RUN RESIDENCE
 3085 LITTLE DRY RUN ROAD
 CINCINNATI, OH 45244

IN PROGRESS:
 NOT FOR CONSTRUCTION

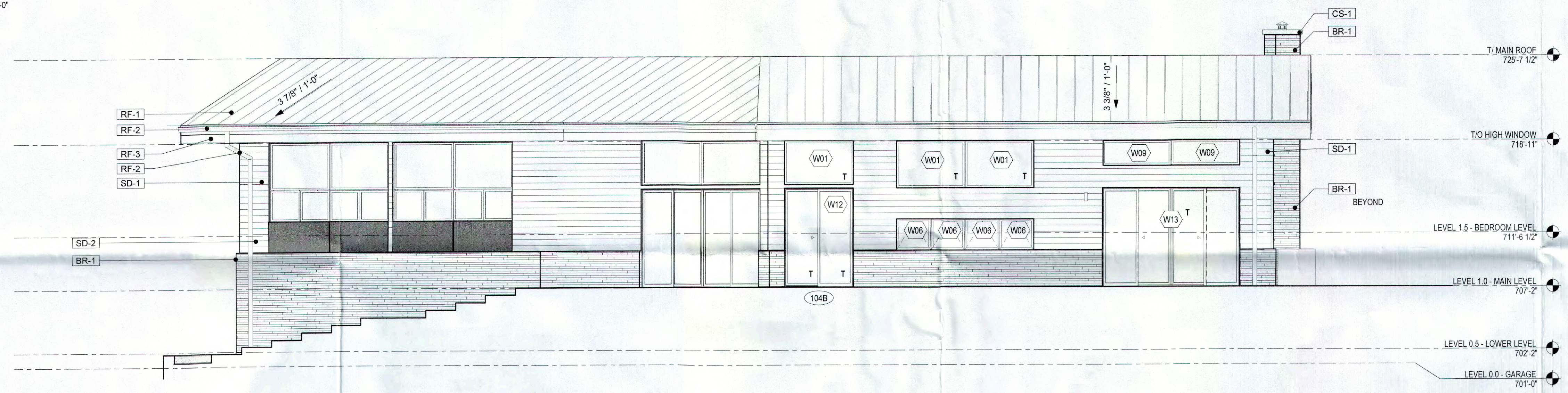
COPYRIGHT © 2024 PRINCE-KING ARCHITECTS, LLC

NO	ISSUE	DATE
4	ISSUE FOR 90% RVW	02/13/26
3	ISSUED FOR 60% REV1	12/17/25
2	ISSUED FOR 60% RVW	12/01/25
1	ISSUED FOR 30% RVW	10/27/25

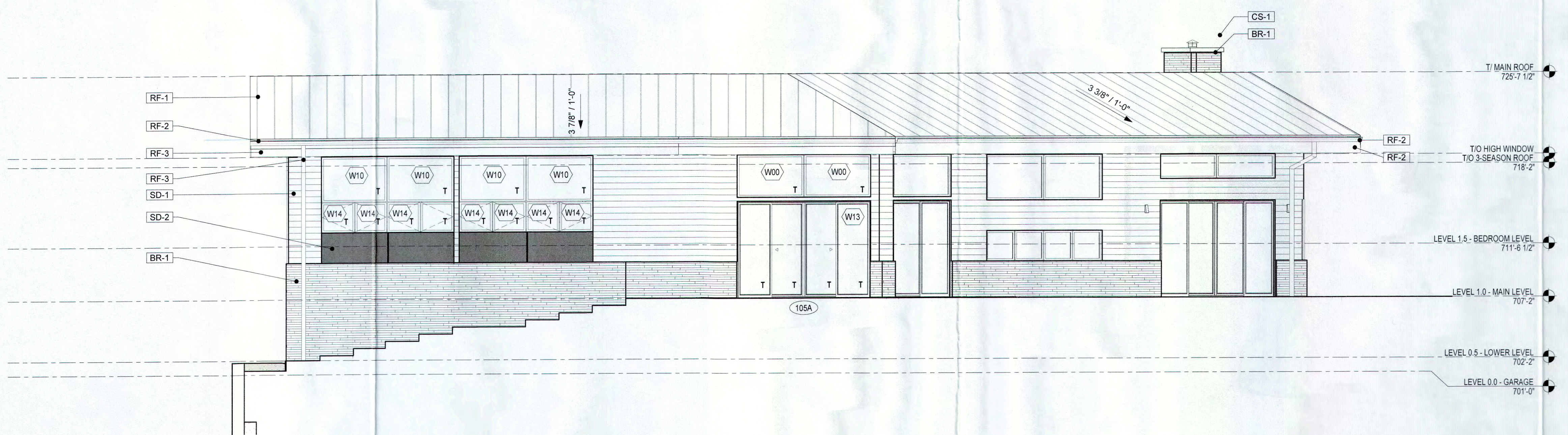
EXTERIOR ELEVATIONS	
SHEET NO.	Issue Date
A2101	



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION 1
SCALE: 3/16" = 1'-0"

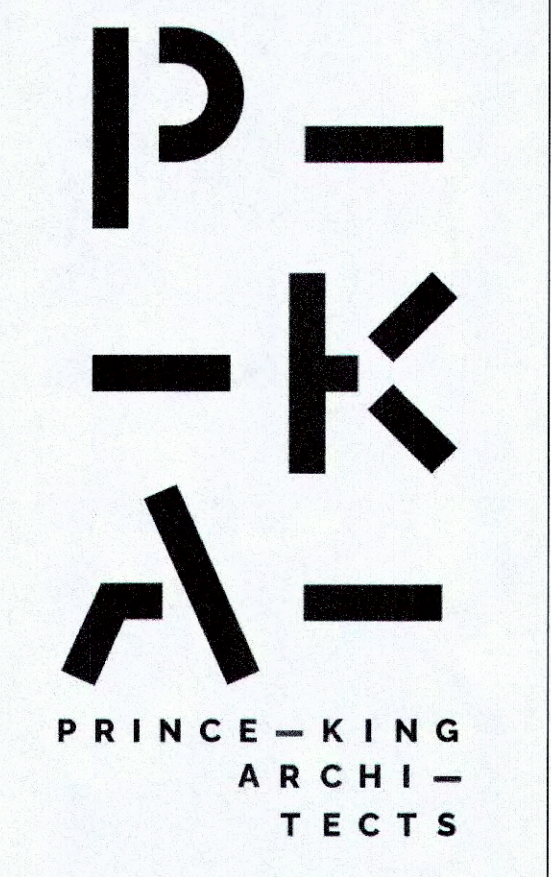


3 NORTH ELEVATION 2
SCALE: 3/16" = 1'-0"

KEYNOTE LEGEND	
KEYNOTE #	KEYNOTE DESCRIPTION
A22	CHIMNEY CRICKET AT HIGH SIDE OF ROOF - INSTALL PER OHIO BUILDING CODE REQUIREMENTS AND PER ROOF MANUFACTURERS INSTALLATION INSTRUCTIONS.
A65	RETAINING/SOUND BARRIER WALLS
A67	STEP FLASHING AT MASONRY CHIMNEY AND STANDING SEAM ROOF - INSTALL PER OHIO BUILDING CODE REQUIREMENTS AND PER ROOF MANUFACTURERS INSTALLATION STANDARD/RECOMMENDED DETAILS.
W00	NOTE IN-PROGRESS
W01	66 INCH WIDE X 60 INCH HIGH PICTURE WINDOW, SILL 96 INCH AFF. BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W05	64 INCH WIDE X 90 INCH HIGH PICTURE WINDOW, SILL 66 INCH AFF. BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W06	32 INCH WIDE X 30 INCH HIGH AWNING WINDOW, SILL 36 INCH AFF. BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W07	64 INCH WIDE X "HEIGHT VARIES" SPECIALTY SHAPE WINDOW, SILL 156 INCH AFF. BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W08	54 INCH WIDE X "HEIGHT VARIES" SPECIALTY SHAPE WINDOW, SILL 156 INCH AFF. BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W09	66 INCH WIDE X 24 INCH HIGH PICTURE WINDOW, SILL 132 INCH AFF. BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W10	66 INCH WIDE X 60 INCH HIGH PICTURE WINDOW, SILL 43.5 INCH AFF. BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W12	66 INCH WIDE X 96 2-PANEL SLIDING DOOR BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W13	132 INCH WIDE X 96 4-PANEL SLIDING DOOR BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.
W14	32 INCH WIDE X 30 INCH HIGH EMERGENCY EGRESS OPENING FROM SLEEPING ROOM, SILL 36 INCH AFF. BOD: MARVIN "COLLECTION TBD", ALUMINUM EXTERIOR-WOOD INTERIOR.

GENERAL NOTES:
 A. CROSS REFERENCE OVERALL DIMENSION PLANS & ENLARGED PLANS AND DETAILS FOR LOCATION OF ARCHITECTURAL ELEMENTS.
 B. REFER TO WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION INFORMATION.
 C. REFER TO A6101 FOR FINISH INFORMATION.
 D. ALL VERTICAL DIMENSIONS ARE FROM LISTED FLOOR LEVELS, UNLESS OTHERWISE NOTED.
 E. ALL ROOFING FLASHING PER ROOF MANUFACTURERS STANDARD DETAILS & RECOMMENDATIONS.
 F. CONTINUITY OF THERMAL, AIR AND VAPOR BARRIERS IN BUILDING EXTERIOR ENCLOSURE SYSTEMS SHALL BE MAINTAINED AT ALL TRANSITIONS BETWEEN DIFFERENT MATERIALS.

GLAZING LEGEND:
 T - TEMPERED GLASS
NOTES:
 1. ALL GLASS WITHIN 24" OF ANY DOOR EDGE SHALL BE TEMPERED
 2. ALL GLAZING > 9 SF SHALL BE TEMPERED



3544 PEMBROKE AVE / CINCINNATI OH 45208
 PH 773.896.5995 / PRINCEKINGARCH.COM

PROJECT:
LITTLE DRY RUN RESIDENCE

3085 LITTLE DRY RUN ROAD
 CINCINNATI, OH 45244

IN-PROGRESS
 NOT FOR CONSTRUCTION

COPYRIGHT © 2024 PRINCE KING ARCHITECTS, LLC

NO	ISSUE	DATE
4	ISSUED FOR 90% RVW	02/13/26
3	ISSUED FOR 60% REV1	12/17/25
2	ISSUED FOR 60% RVW	12/01/25
1	ISSUED FOR 30% RVW	10/27/25

EXTERIOR ELEVATIONS

SHEET NO.

A2102

DATE Issue Date

